

LIGHTHOUSE LANDING
199 BEEKMAN AVENUE
VILLAGE OF SLEEPY HOLLOW
WESTCHESTER COUNTY, NEW YORK

**APPLICATION FOR
FILLING OPERATIONS PERMIT
SUPPLEMENTAL SUBMISSION**

Prepared for Submission to:

VILLAGE OF SLEEPY HOLLOW PLANNING BOARD

Applicant:

LIGHTHOUSE LANDING VENTURE LLC

March 27, 2015

LIGHTHOUSE LANDING
VILLAGE OF SLEEPY HOLLOW, NEW YORK

APPLICATION FOR FILLING OPERATIONS PERMIT

OWNER:

Lighthouse Landing Venture LLC
c/o SunCal
1270 Avenue of the Americas
New York, NY 10020

APPLICANT:

Lighthouse Landing Venture LLC
c/o SunCal
1270 Avenue of the Americas
New York, NY 10020

TAX MAP DESIGNATION:

Section 115.10, Block 1, Lots 1 (West Parcel)
Section 115.15, Block 1, Lots 1 (South Parcel)

CONTRIBUTING PROFESSIONALS:

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March 27, 2015

Chairman Eliot Martone and
Members of the Planning Board
Village of Sleepy Hollow
28 Beekman Avenue
Sleepy Hollow, NY 10591

Re Filling Operations Permit Application
Lighthouse Landing Riverfront Development
199 Beekman Avenue, Sleepy Hollow

Dear Chairman Martone and Members of the Planning Board:

On behalf of Lighthouse Landing Venture LLC (“Applicant” or “LLV”), we offer the following responses to the written comments made by Planning & Development Advisors and Dolph Rotfield Engineering, PC as well as questions posed by the Planning Board during the public hearing on March 19, 2015. As was described during the March 19th hearing, LLV proposes to install a temporary bridge over top of the westbound lane of the Beekman Avenue Bridge for use during the filling operations. This bridge will be self-supporting (in that it will not bear on either the existing bridge surface or its abutments) and have an HS 25 load rating, and thereby will be capable of carrying the trucks bringing fill to the site.

The temporary bridge span will be approximately 80 feet long, and the driving surface will be approximately 30 inches above the existing bridge roadway. Ramps will connect down to Beekman Avenue on both sides, necessitating the temporary removal of several parking spaces adjoining the westbound lane. A five-foot walkway will also be attached to the north side of the temporary bridge, also ramping down to the existing sidewalk on both sides. See Figure 1, *Proposed Beekman Avenue Temporary Bridge*. Additional information relating to the temporary bridge is provided in the responses below.

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Planning & Development Advisors memorandum dated March 14, 2015

Comment No. 1 — *“The Applicant has proposed to install screening in one location and fencing and screening in another. It would be helpful to have a detail or some representation of what is being proposed.”*

Response: As noted on Sheet SPP-1, the Applicant proposes to install a six (6) foot high temporary chain link fence with an opaque mesh screen (see Figure 2) along the south side of the proposed truck route within the project site. The Applicant also would be willing to attach a similar mesh screen to the existing chain link fence along the shared Lighthouse Landing/Ichabod’s Landing boundary if acceptable to the Ichabod’s Landing homeowner’s association.

Comment No. 2 — *“Given the extent of the filling process, it was not apparent from the submission, the time period required for the proposed operation, understanding that the Applicant is currently in the process of locating the necessary fill material to bring to the site. How would the time frame for bringing material to the site relate to the time frames outlined in Section 190-17 of the Village Code, Duration of Permit?”*

Response: Section 190-17 of the Village Code provides that the duration of a filling operations permit shall be three (3) months with the opportunity for the Applicant to renew for an additional three (3) month period without a hearing before the Planning Board. The Applicant also anticipates applying for Phase I Site Plan approval for the project in the near future, and will incorporate future filling operations that will extend beyond the duration of this permit into the Phase I application.

Comment No. 3 — *“Page I-5 of the SWPP, please identify which Village entities would be responsible for permits and approvals being sought.”*

Response: Page I-5 of the SWPP has been revised to state that a Filling Operations permit approval is being sought from the Planning Board and approval of the SWPP will be sought from the Village Building Department for the MS4. A copy of the revised page is included herein as Figure 3.

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Comment No. 4 — *“On the owners of record within 200 feet radius of the project site (page 1) there is a reference to Dwight Douglas, Village of Sleepy Hollow, please revise to reflect the current Village Administrator.”*

Response: The reference to Dwight Douglas and the reference to the IDA have both been corrected.

Dolph Rotfield Engineering, PC memorandum dated March 19, 2015

Comment No. 1 — *“Erosion control details must be provided for all proposed practices.”*

Response: Erosion control details have been added to the plans and are shown on Sheet SPP-2.

Comment No. 2 — *“Spot elevations must be provided for the lower parking lot at Kingsland Point Park. Spot elevations must also be provided for the temporary swales that are proposed along the sides of the proposed imported fill/stockpile area.”*

Response: Spot elevations have been added to the plans for the lower parking lot at Kingsland Point Park and for the temporary swales proposed along the sides of the imported fill/stockpile area, see Sheet SPP-1.

Comment No. 3 — *“Details must be provided for the temporary bridge that is proposed over the Beekman Avenue Bridge in order to determine its impact on the Village right-of-way and public utilities. Details must also be provided for the bridge footings.”*

Response: Attached are preliminary drawings prepared by WSP dated March 24, 2015 which indicate the transverse (Figure 4) and longitudinal (Figure 5) views of the proposed temporary bridge. Figure 5 shows that the temporary bridge span will be self-supporting and traverse the length and width of the existing westbound lane of the bridge, approximately 30 inches above the roadway of the existing bridge. The temporary bridge will be supported on both ends by temporary concrete abutments, set back sufficiently so as not to impact the existing bridge substructure to remain. Final engineering drawings and calculations will be submitted for review to Metro North and to the Village Building Department as part of the Building Permit submission. Figure 1 is a schematic overlay of the temporary bridge on an aerial of the relevant

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portion of Beekman Avenue that depicts the location of the existing bridge abutments, the ramps on either side of the temporary bridge, and the seven (7) on-street parking spaces proposed to be temporarily removed from service.

Comment No. 4 — *“A maintenance and protection of traffic plan must be provided for the temporary bridge over the Beekman Avenue Bridge.”*

Response: After consultation with and review by the Village Police Department, the Department of Public Works and Metro North, WSP will issue a detailed Management and Protection of Traffic plan (MPT) with the building permit set. The MPT would include detailed information regarding traffic maintenance during the installation of the temporary bridge, including the lane shift and how the parking lanes will be impacted on the eastbound and west bound approaches (ramps) to the bridge. During the installation of the temporary bridge, traffic along Beekman Avenue will be maintained in both directions. Figure 1 which includes a schematic drawing of the temporary bridge over an aerial of the relevant portion of Beekman Avenue provides general locational information for the bridge abutments and ramps.

Comment No. 5 — *“It is recommended that the Village conduct weekly inspections to monitor the filling operation as well as the functionality of drainage conveyance and erosion control practices.”*

Response: It is understood the Village will conduct weekly inspections to monitor the filling operation, drainage and the erosion control practices in place at the site.

Comment No. 6 — *“It is also recommended that the Village conduct inspections of the stormwater outfalls during rainfall events.”*

Response: It is understood the Village will conduct inspections of the stormwater outfalls during rainfall events.

Planning Board Comments at the March 19, 2015 public hearing

Comment No. 1 — *“Barbed wire should be removed from the existing perimeter fencing on the South parcel. The parking lot is to be restriped.”*

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Response: A note has been added to Sheet SPP-1 indicating that the barbed wire will be removed from the existing perimeter fencing and that the restaurant parking lot will be restriped.

Comment No. 2 — *“A plan should be presented to demonstrate the new on-site traffic circulation patterns and description of any signage that will be provided.”*

Response: The restriped parking lot should clarify traffic circulation on the site. A six (6) foot tall chain link fence is shown on Sheet SPP-1 enclosing the western portion of the south parcel to provide for temporary construction trailers. Patrons of the adjoining restaurant will be utilizing the eastern portion only and will be limited to drive aisles.

Comment No. 3 — *“Details of the erosion controls are to be added to the plans. Spot elevations are to be added to the plans to demonstrate the ability of the surface drainage system to operate without impacting the lower Kingsland Point Park parking area.”*

Response: As noted above, the erosion control details have been added to the plan and are shown on Sheet SPP-2 and spot elevations have been added to the plan and are shown on Sheet SPP-1.

Comment No. 4 — *“What will be the load rating of the temporary bridge? How long will it take to erect the temporary bridge? Plans should be provided to show how the bridge will operate. Details of construction should be provided to show there will be no impact to the existing bridge abutment system.”*

Response: The load rating of the temporary bridge is HS-25, which will be satisfactory for trucks loaded with fill material travelling westbound on Beekman Avenue, towards the site. Construction of the temporary bridge will take approximately 4-6 weeks. As noted above, WSP will issue a detailed Management and Protection of Traffic plan (MPT) to be submitted with the building permit set after consultation with and review by the Village Police Department, the Department of Public Works and Metro North. At this time a comprehensive engineering analysis is being completed to determine the capacity of the eastbound lane of the existing bridge to support the unloaded trucks exiting the site. The results of this analysis will inform the MPT in that the Applicant's preference would be to use the existing bridge for unloaded trucks exiting the site. If the analysis indicates the eastbound lane of the existing bridge is unable to support the traffic load of empty trucks exiting the site, the Applicant will

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discuss and coordinate with the Village Police Department and the Department of Public Works. The temporary bridge will be self-supporting and will not require the existing bridge for support and consequently will have no impact on the existing bridge or its abutments.

Comment No. 5 — *“The Applicant shall forward copies of all SWPP inspection reports to Sean McCarthy. An expanded list of required Permits and Approvals should be provided.”*

Response: The Applicant intends to forward copies of all SWPP inspection reports to the attention of the Village Architect. See page I-5 of the SWPP (Figure 3) for a list of permits and approvals.

Comment No. 6 — *“Who will be responsible for the costs of the required utility relocations?”*

Response: The Applicant is conducting ongoing discussions with the utility providers regarding relocations. The Village of Sleepy Hollow will not be responsible for the costs of the required utility relocations.

We look forward to reviewing this information with you at the April 9, 2015 Planning Board meeting. Thank you for your consideration.

Very truly yours,

DIVNEY TUNG SCHWALBE, LLP



Andrew V. Tung, ASLA, Esq., LEED AP
Partner

Enclosures

cc: Jonathan Stein
Peter Johnson
Mark Weingarten, Esq.

**LIGHTHOUSE LANDING VENTURES, LLC
1270 AVENUE OF THE AMERICAS
NEW YORK, NY 10020**

**VILLAGE OF SLEEPY HOLLOW APPLICATION FOR
FILLING OPERATIONS PERMIT APPROVAL**

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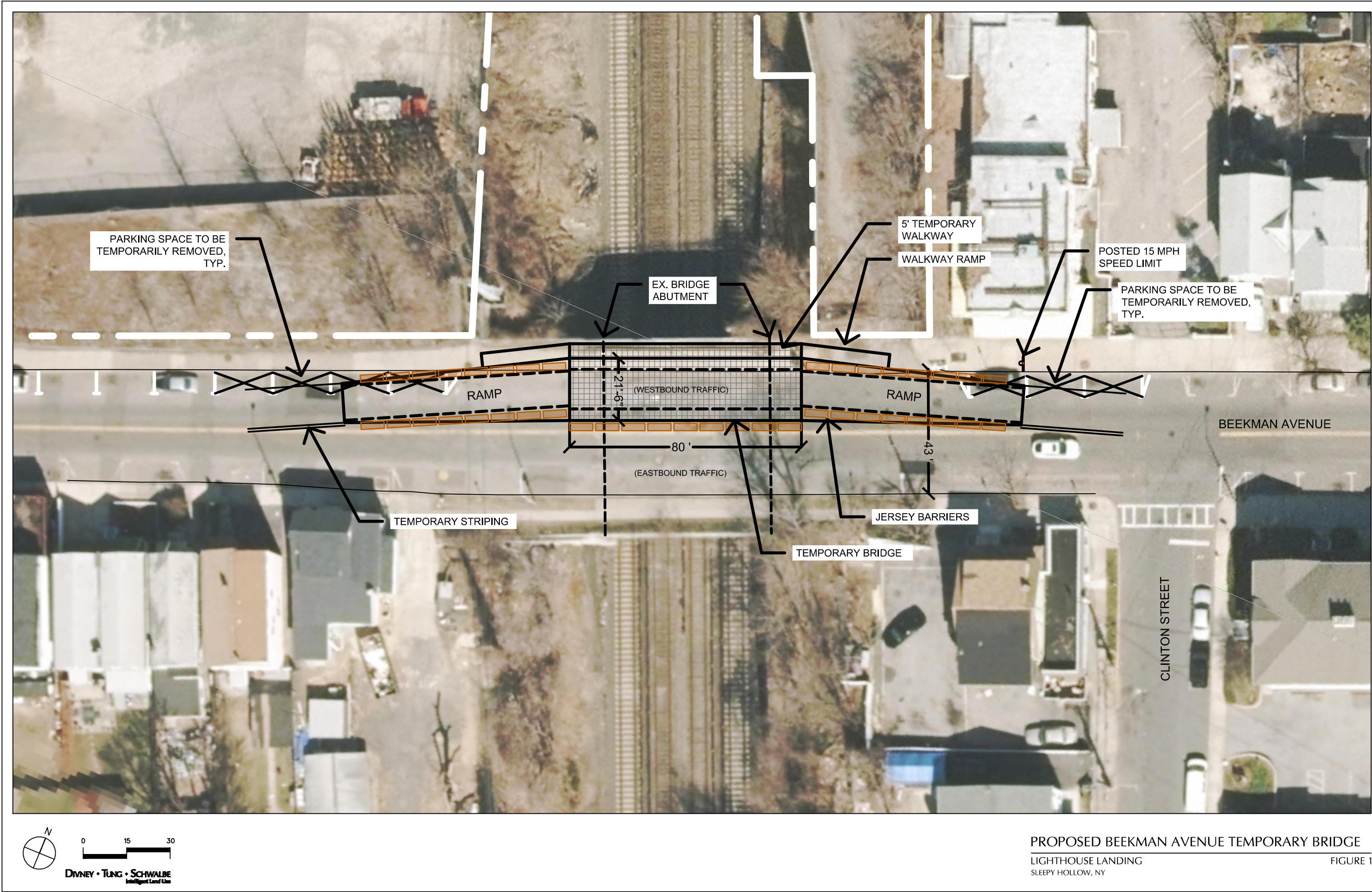
I. FIGURES

- Figure 1: Beekman Avenue—Proposed Temporary Bridge
- Figure 2: Chain link fence with mesh screen
- Figure 3: Page I-5 of the revised SWPP
- Figure 4: Staging Section—prepared by WSP
- Figure 5: Longitudinal Section Temporary Bridge, prepared by WSP

II. PLANS (full size)

- Filling Operations and Site Preparation Plan SPP-1, prepared by Divney Tung Schwalbe
- Filling Operations and Site Preparation Plan Details SPP-2, prepared by Divney Tung Schwalbe

I. FIGURES



An example of a chain link fence with mesh screen.



Figure 2

ii. Project Permits and Approvals

Procedures and requirements specified for this project shall comply with all requirements applicable to protecting surface water and groundwater.

(1) Permits and Approvals Granted

(a) Village of Sleepy Hollow

- (i) 2011 Special Permit and Riverfront Development Concept Plan

(b) New York State Department of Environmental Conservation

- (i) Brownfield Clean-up Program Certificate of Completion

(2) Permits and Approvals Being Sought

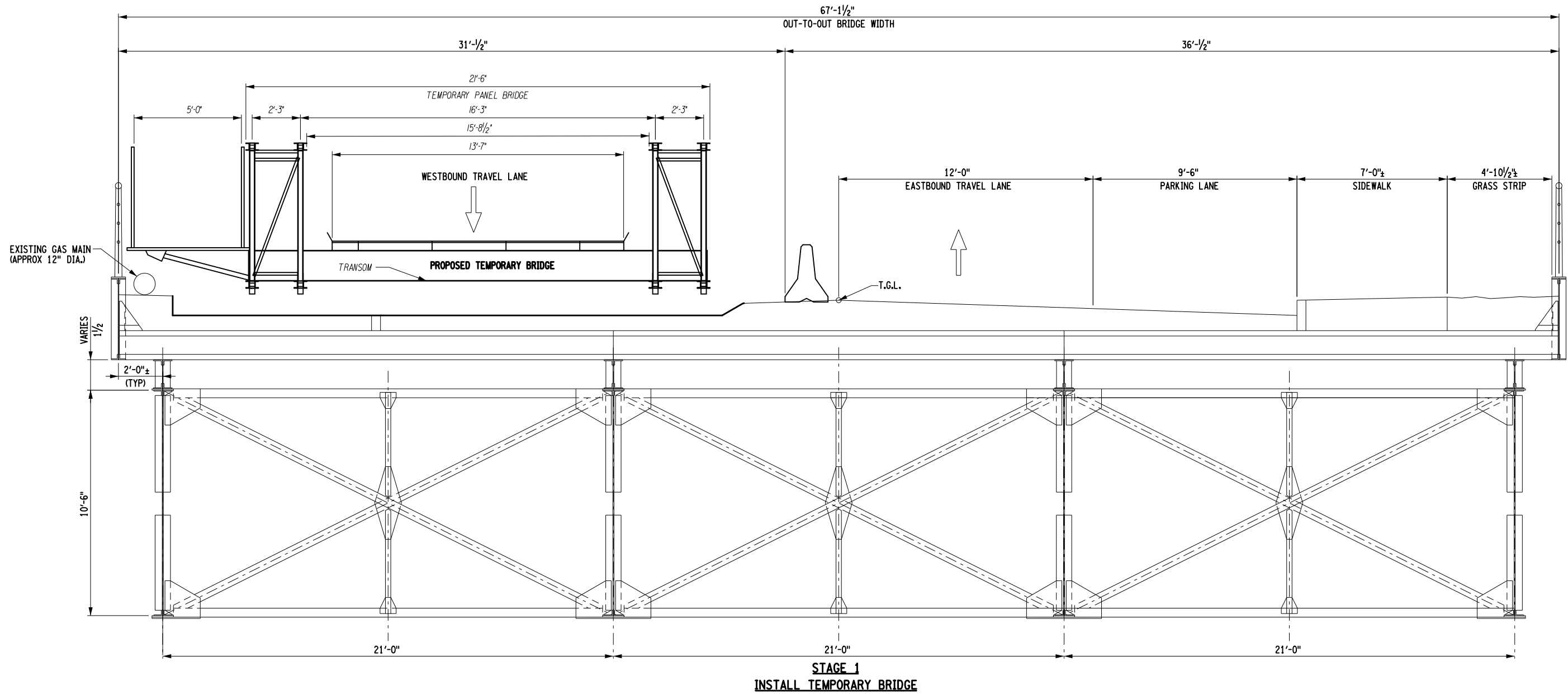
(a) Village of Sleepy Hollow

- (i) Planning Board—Filling Operations Permit
- (ii) Building Department for MS4—Stormwater Pollution Prevention Plan (SWPPP) in compliance with SPDES General Permit for Stormwater Discharges from Construction Activity

Figure 3

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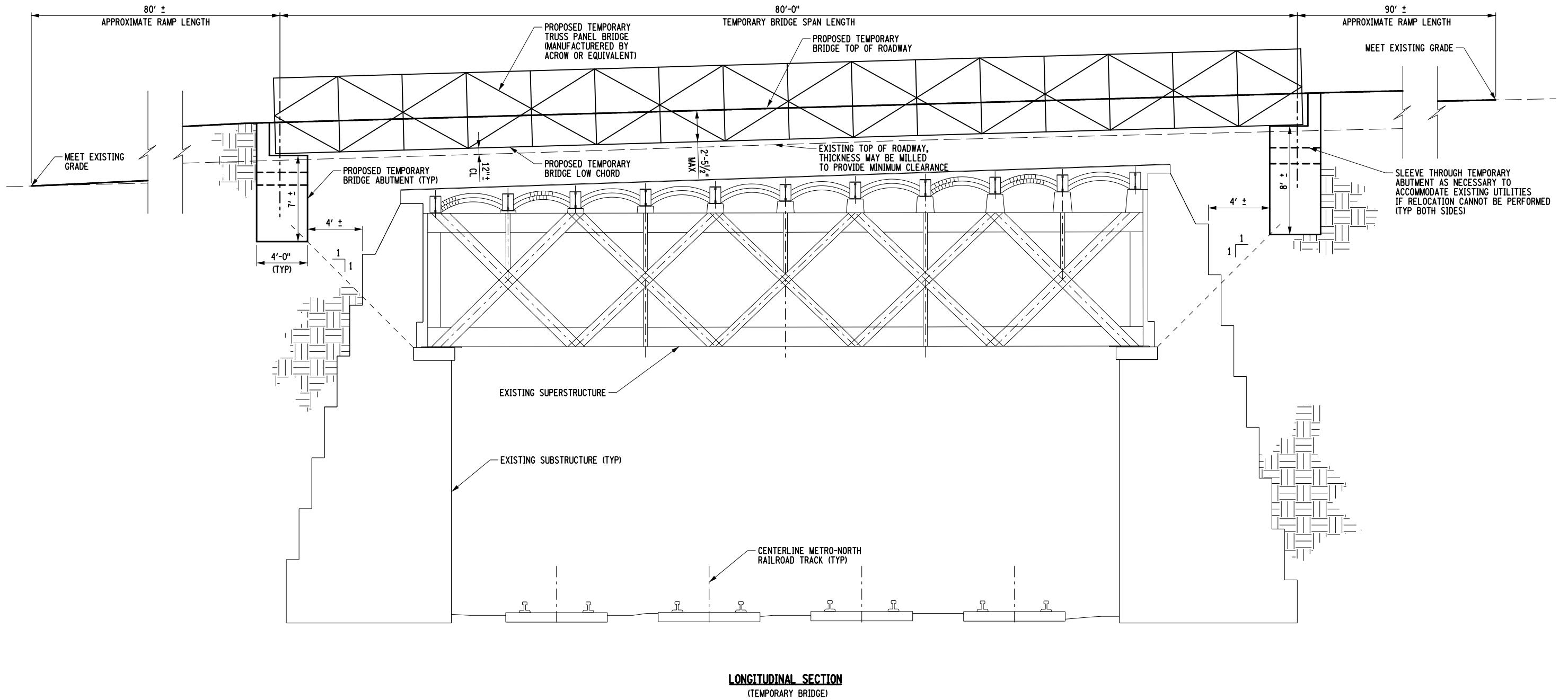
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	OVER METRO NORTH RAILROAD				STAGING SECTION	DRAWING NO.
	_____					SHEET NO.
	VILLAGE OF SLEEPY HOLLOW, WESTCHESTER COUNTY, NY					

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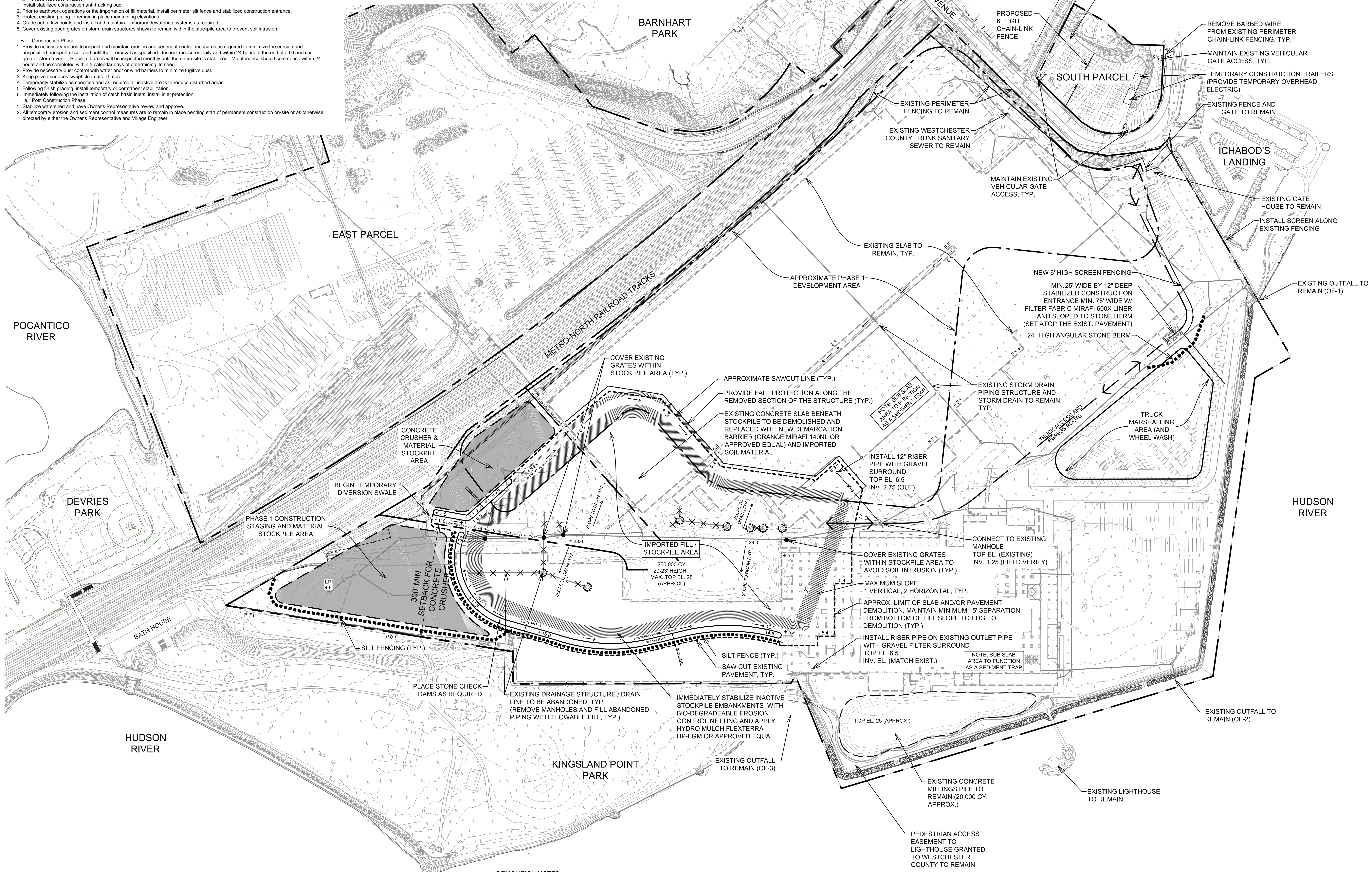
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						SHEET NO.
	VILLAGE OF SLEEPY HOLLOW, WESTCHESTER COUNTY, NY					

EROSION AND SEDIMENT CONTROL PLAN SPECIFICATIONS

- DESCRIPTION OF WORK

Provide all means necessary to install, inspect and maintain, and remove temporary erosion and sediment control measures as shown on the drawings and as required to minimize the erosion and unspecified transport of soil from the site.
- QUALITY ASSURANCE
 - General
 - Install and maintain in compliance with the New York State Department of Environmental Conservation General Permit for Storm Water Discharges from Construction Activities.
 - (i) Retain a copy of the project's Notice of Intent (NOI), a brief description of the project, posted in a prominent place for public viewing, and a copy of the project's Storm Water Pollution Prevention Plan (SWPPP) at the construction site from the date of initiation of construction activities to the date of the Notice of Termination (NOTI) submission.
 - Install all erosion and sediment control measures in accordance with the drawings or New York State Standards and Specifications for Erosion and Sediment Controls-August 2005 or latest revision thereto.
 - Grade and maintain site at all times such that all storm water runoff from disturbed areas is diverted to soil erosion and sedimentation control facilities.
 - No changes to the Soil Erosion and Sedimentation Control Plan shall be made without approval of the Owner's Representative.
 - No more than 5 acres of soil can be disturbed at any time without a 5-acre waiver issued by NYSDEC. All disturbed areas shall be protected by erosion and sediment control measures.
 - The Contractor shall comply with applicable Federal, State, and local regulations relating to the prevention and abatement of pollution.
 - Product Data: Submit manufacturer's catalogue cuts, specifications and installation instructions for silt fences, filter fabrics, erosion control blankets, trash racks, anti-seep collars, sediment trap riser and barrel pipes, and dewatering devices.
- WORK SCHEDULE
 - Preconstruction Phase:
 - Install stabilized construction anti-tracking pad.
 - Prior to earthwork operations or the importation of fill material, install perimeter silt fence and stabilized construction entrance.
 - Protect existing piping to remain in place maintaining elevations.
 - Grade out to low points and install and maintain temporary dewatering systems as required.
 - Cover existing open grates on storm drain structures shown to remain within the stockpile area to prevent soil intrusion.
 - Construction Phase:
 - Provide necessary means to inspect and maintain erosion and sediment control measures as required to minimize the erosion and unspecified transport of soil and until their removal as specified. Inspect measures daily and within 24 hours of the end of a 0.5 inch or greater storm event. Stabilized areas will be inspected monthly until the entire site is stabilized. Maintenance should commence within 24 hours and be completed within 5 calendar days of determining its need.
 - Provide necessary dust control with water and/or wind barriers to minimize fugitive dust.
 - Keep paved surfaces swept clean at all times.
 - Temporarily stabilize as specified and as required all inactive areas to reduce disturbed areas.
 - Following finish grading, install temporary or permanent stabilization.
 - Immediately following the installation of catch basin inlets, install inlet protection.
 - Post Construction Phase:
 - Stabilize watershed and have Owner's Representative review and approve.
 - All temporary erosion and sediment control measures are to remain in place pending start of permanent construction on-site or as otherwise directed by either the Owner's Representative and Village Engineer.

- PRODUCTS AND EXECUTION
 - No pumping or dewatering into the existing storm sewer main without pre-filtering as approved by the Village Engineer.
 - Silt Fence: Silt fence fabric shall be Mirafi 100X or equal. Wood posts shall be of sound quality hardwood, a minimum 36 inches long and two inches square. Metal posts shall be standard T and U section weighing not less than one pound per linear foot. Wire fence backing shall be a minimum 14-1/2 gage with a maximum six inch mesh opening and securely attached to fence posts. Posts shall extend a minimum of 12 inches into the ground.
 - Coir Logs: Wood posts shall be of sound quality hardwood, a minimum 36 inches long and two inches square. Metal posts shall be standard T and U section weighing not less than one pound per linear foot. There shall be a minimum of three posts for each log length and shall extend a minimum of 12 inches into the ground. The contractor shall remove sediment deposits when deposits reaches half the height of the coir log.
 - Earth dikes: Compact dikes with earth moving equipment. Erosion control blankets shall be ESC-2 by East Coast or equal.
 - Stabilized Construction Entrance: the filter fabric shall be Mirafi 600X or equal. The Contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
 - Temporary Stabilization:
 - Establishment of Temporary Grass Cover: Prepare seed bed, scarify if compacted, remove debris and obstacles such as rocks and stumps, and seed within 24 hours. Amend soil, lime soil to pH of 6.0 and fertilize at a rate of 14 lbs. per 1,000 square feet with a 5-10-10 or equivalent fertilizer. Work amendments a minimum of 4 inches into soil. If seeding in October/November seed shall be Certified Aroostook winter rye @ 100 lbs. per acre, otherwise seed shall be ryegrass (annual or perennial) @ 30 lbs. per acre.
 - Treat all disturbed areas within 500 feet of an inhabited building as necessary to provide dust control. Conform to all local and state regulations governing these activities.
 - Install Temporary Stabilization within 24 hours after the end of construction activities in an area unless there is snow cover or construction activities will resume within 14 days.
 - Construction Vehicles: Wash down all construction vehicles and cover with tarpaulins as necessary to prevent vehicle transport of sediment off-site.
 - Provide measures for truck and tool wash water to be treated prior to discharge to natural areas.
 - No unfiltered discharge from any unstabilized area shall be allowed to enter any permanent drainage or filtration facilities.



DEMOLITION NOTES:

- Existing structural piles and pile caps shall remain undisturbed.
- Stockpile construction and demolition debris in designated location.
- Provide fall protection as required along open demolition areas.

LIGHTHOUSE
LANDING
AT SLEEPY HOLLOW
Sleepy Hollow, NY

LIGHTHOUSE LANDING
VENTURE LLC

OWNER

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STRUCTURAL / GEOTECHNICAL

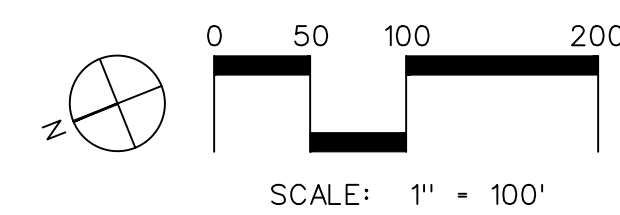
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REVISONS	NO.	DATE	ISSUE
	1	3/27/15	REVISED PER VILLAGE PLANNING BOARD COMMENTS

DRAWING TITLE:

FILLING OPERATIONS
AND SITE
PREPARATION PLAN

	DRAWN BY:	CHECKED BY:
	JEB	MSG/AVT
	PROJECT NO. 780	DATE: 3/2/15
DRAWING NO.	SPP-1	

